



— MIDSOUTH —

**AmeriSpec MidSouth**

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**Doc #:** 201808-2531

**Date:** 05/01/2023

**Dwelling Address:**

123 Sample St

Germantown TN 38139

**Client Name:** Buyer

**Inspector:** AmeriSpec Inspector

**Clients Agent:** Sample Agent

**Real Estate Company:** Sample Realty



We attempt to give the client a comprehensive, clear-cut, unbiased view of the home. The purpose of this inspection is to identify 'MAJOR' problems associated with the property being purchased or sold, although minor items may also be mentioned. Areas, which may be of concern to us, may not be of concern to the client and some items, which may be of concern to the client, may be considered minor to us. Therefore, it is advisable to read the entire report. Where repairs or replacements are suggested, we recommend licensed professionals in that field be called upon to make those repairs. We can perform verification of repairs to ensure repairs or corrections were made and also advise the client to obtain all paperwork from professionals concerning the work performed. These professionals will be happy to provide you with written statements concerning their work. We further recommend maintaining all paperwork on repairs for future reference. FUTURE FAILURE: Items in the home can and do experience failure without prior indications. This report is a snap shot of the condition of the home at the time of inspection. We cannot determine if or when an item will experience failure. Therefore, we cannot be held responsible for future failure. Carbon monoxide and smoke detectors have been proven to save lives. Client is advised to install carbon monoxide and smoke detectors if not already present in home. Suggest consulting with your local municipality and manufacture specifications as to the proper location and installation of these units.

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**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

This is a limited review of many areas in this home. Home was occupied at time of inspection. Efforts were made to inspect as much as possible; however due to the presence of personal items, many areas are not visible or accessible. Furniture, clothes, and other personal items are not moved for the inspection.

## GENERAL CONDITIONS

**In Attendance:**

Customer and their agent

**Type of building:**

Single Family (2 story)

**Approximate age of building:**

Over 35 Years

**Temperature:**

Over 65 (F) = 18 (C)

**Weather:**

Clear

**Ground/Soil surface condition:**

Dry

**Rain in last 3 days:**

No

**Occupied:**

Occupied Home

**1. Roofing**

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

**Styles & Materials**

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**Roof Covering:**

- Architectural
- Asphalt/Fiberglass

**Viewed roof covering from:**

Ground

**Chimney (exterior):**

Brick

**Items**

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The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**2. Exterior**

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

**Styles & Materials**

**Siding Material:**

- Wood
- Cement-Fiber
- Brick veneer
- Metal Over Trim

**Items**

**2.0 Wall Cladding Flashing and Trim**

**Comments:** Repair or Replace

(1) Moisture damaged wood observed at various locations. The extent of damage could not be determined without destructive analysis (maintenance and/or repairs should be performed).

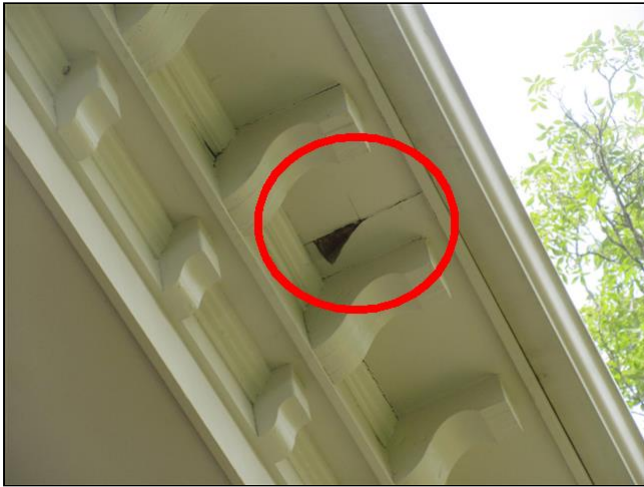
The wood trim needs primer and paint at various locations. I recommend a qualified contractor correct as needed.



2.0 Item 1(Picture)



2.0 Item 2(Picture) Damaged



2.0 Item 3(Picture) Damaged



2.0 Item 4(Picture)



2.0 Item 5(Picture) Flaking Paint



2.0 Item 6(Picture)



2.0 Item 7(Picture) Damaged



2.0 Item 8(Picture) Flaking Paint



2.0 Item 9(Picture)



2.0 Item 10(Picture)

(2) Recommend adding caulk/paint to end joints of siding where necessary to prevent water penetration/deterioration.



2.0 Item 11(Picture)



2.0 Item 12(Picture)



2.0 Item 13(Picture)



2.0 Item 14(Picture)

**2.1 Doors (Exterior)**

Comments: Inspected

**2.2 Windows**

Comments: Inspected

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



**3. Garage**

**Styles & Materials**

**Garage Door Material:**

Metal

**Items**

**3.0 Garage Door (s)**

**Comments:** Inspected

**3.1 Occupant Door (from garage to inside of home)**

**Comments:** Inspected

**3.2 Garage Door Operators (Report whether or not doors will reverse when met with resistance)**

**Comments:** Repair or Replace

(1) The electric eyes are mounted too far above the floor to protect small children, pets, or property as intended by the manufacturer. We recommend lowering the eyes to within 6-8 inches of the floor or manufactures specifications.



3.2 Item 1(Picture)



3.2 Item 2(Picture)

(2) The force activated safety reverse did not respond to test. This garage door opener is to be equipped with dual safety reverse devices, one of which did not operate when tested at the time of inspection. Recommend review for repair or adjustment, as necessary.



3.2 Item 3(Picture)

**4. Structural Components**

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

**Styles & Materials**

<p><b>Foundation:</b> Poured concrete</p>	<p><b>Method used to observe Crawlspace:</b> No crawlspace</p>	<p><b>Floor Structure:</b> Slab</p>
<p><b>Roof Structure:</b> 2 X 6 Rafters Plywood</p>	<p><b>Method used to observe attic:</b> Walked</p>	<p><b>Attic info:</b> Attic access</p>

**Items**

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**5. Plumbing System**

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

**Styles & Materials**

**Plumbing Water Distribution (inside home):**

Copper

**Plumbing Waste:**

PVC

**Water Heater Power Source:**

Electric

Extra Info : Both Units

**Water Heater Capacity:**

50 Gallon (2-3 people)

80 Gallon (plenty)

Extra Info : RUUD (50 g) Bradford-White (80g)

**Water Heater Location:**

Attic

Washer Dryer Room

**WH Manufacturer:**

BRADFORD-WHITE

RUUD

**WH Manufacturer Date:**

2009

1991

Extra Info : Bradford-White (2009) RUUD (1991)

**Items**

**5.0 Plumbing Drain, Waste and Vent Systems**

**Comments:** Repair or Replace

The toilet bowl is loose at floor anchor bolts in the first floor hall half bathroom. The wax ring inside the unit must have a snug, secure fit in order to keep from leaking. Properly re-sealing and re-securing this unit is suggested to prevent water leakage and damage to the sub-floor area. This type of damage is not always visible or accessible to the inspector at time of inspection. Recommend review by a qualified plumber for repair or replacement, as necessary.



5.0 Item 1(Picture)

**5.1 Hot Water Systems, Controls, Chimneys, Flues and Vents**

**Comments:** Repair or Replace

(1) Damaged emergency pan observed at the hot water heater located in the laundry room. Recommend repair/ replacement for proper operation.



5.1 Item 1(Picture)



5.1 Item 2(Picture)

(2) In the inspectors opinion the water heater in the laundry room could be near the end of its useful life due to its age. Recommend review by a licensed plumber for repair or replacement, as necessary.



5.1 Item 3(Picture)

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The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**6. Electrical System**

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

**Styles & Materials**

**Electrical Service Conductors:**

Below ground

**Panel Capacity:**

200 AMP  
 100 AMP  
 Extra Info : 2 Main Panels

**Panel Type:**

Circuit breakers

**Branch wire 15 and 20 AMP:**

Copper

**Items**

**6.0 Location of Main and Distribution Panels**

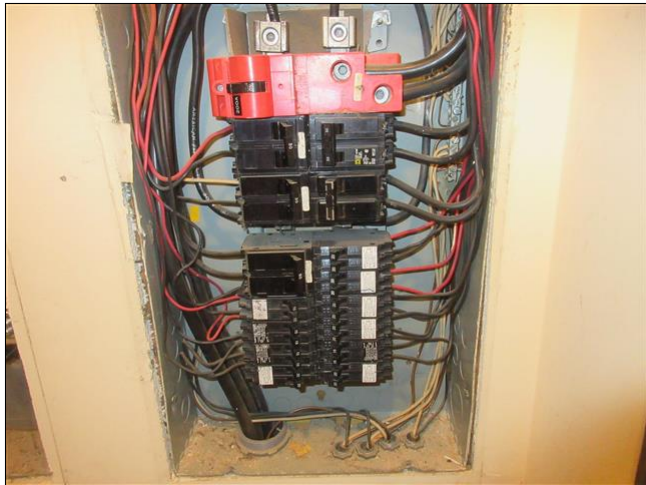
**Comments:** Inspected

The main electrical panel is located along the right side wall of the kitchen pantry. The protective cover was removed for this photo and a more thorough inspection.

Recommend missing electrical panel screws be replaced for safety.



6.0 Item 1(Picture)



6.0 Item 2(Picture)



6.0 Item 3(Picture)



6.0 Item 4(Picture)

**6.1 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)**

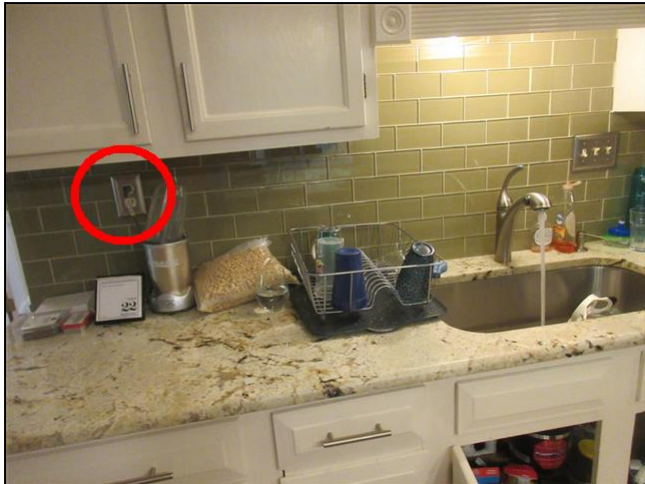
**Comments:** Repair or Replace

(1) Damaged doorbell observed. Recommend repairs be made for proper operation.



6.1 Item 1(Picture)

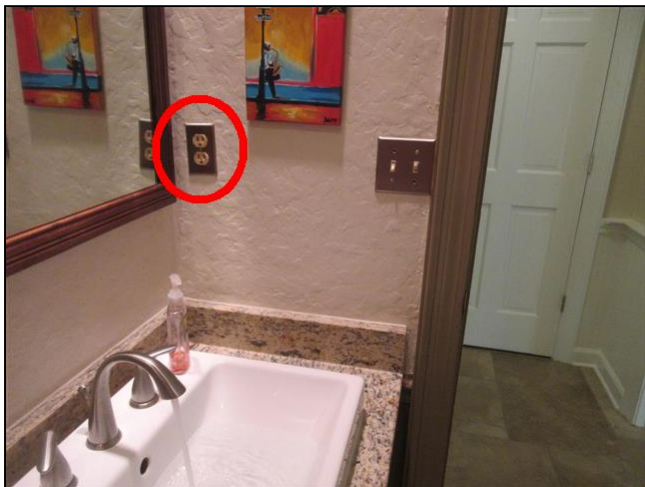
(2) Ground Fault Circuit Interrupters (GFCI) may not have been required when the home was built. Suggest client consider upgrading with ground fault circuit interrupters (GFCI's) at all receptacles near water sources, such as the kitchen, the bathrooms, the garage, and exterior receptacles to enhance safety. Upgrades should be performed by a licensed electrician.



6.1 Item 2(Picture)



6.1 Item 3(Picture)



6.1 Item 4(Picture)



6.1 Item 5(Picture)



6.1 Item 6(Picture)



6.1 Item 7(Picture)



6.1 Item 8(Picture)

(3) Light fixtures in various locations were inoperative at time of inspection. Possible spent bulbs. Suggest client verify fixtures for proper operation prior to closing.



6.1 Item 9(Picture)



6.1 Item 10(Picture)



6.1 Item 11(Picture)



6.1 Item 12(Picture)





6.1 Item 13(Picture)

(4) Damaged light fixtures observed in the kitchen. Recommend repairs be made.



6.1 Item 14(Picture)



6.1 Item 15(Picture)

(5) For the buyers information, the fan/light in the master bathroom appears to operate using a remote control. Recommend obtaining necessary remote controls prior to close.

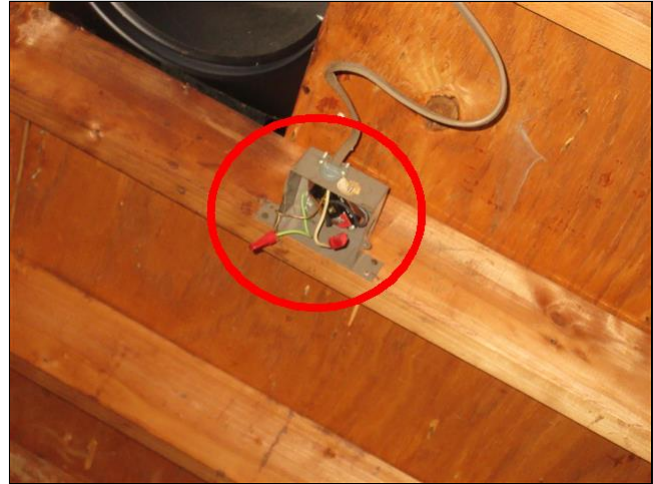


6.1 Item 16(Picture)

(6) Open junction boxes were observed in the attic. Whenever an electric wire is cut and reconnected, the 'splice' should be encased in a covered junction box to prevent shocks and separation of the splice.



6.1 Item 17(Picture)



6.1 Item 18(Picture)

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The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**7. Heating / Central Air Conditioning**

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

**Styles & Materials**

<p><b>Heat Type:</b> Heat Pump Forced Air (also provides cool air)</p>	<p><b>Energy Source:</b> Electric</p>	<p><b>Number of Heat Systems (excluding wood):</b> Two</p>
<p><b>Heat System Brand:</b> CARRIER TRANE</p>	<p><b>Types of Fireplaces:</b> Vented gas logs</p>	<p><b>Cooling Equipment Type:</b> Heat Pump Forced Air (also provides warm air)</p>
<p><b>Cooling Equipment Energy Source:</b> Electricity</p>	<p><b>Number of AC Only Units:</b> Two</p>	<p><b>Central Air Brand:</b> CARRIER TRANE</p>
<p><b>Condensing Unit Manufactured Date:</b> 2013 2010 Extra Info : Carrier (2013) Trane (2010)</p>	<p><b>Furnace Manufactured Date:</b> 2013 2011 Extra Info : Carrier (2013) Trane (2011)</p>	

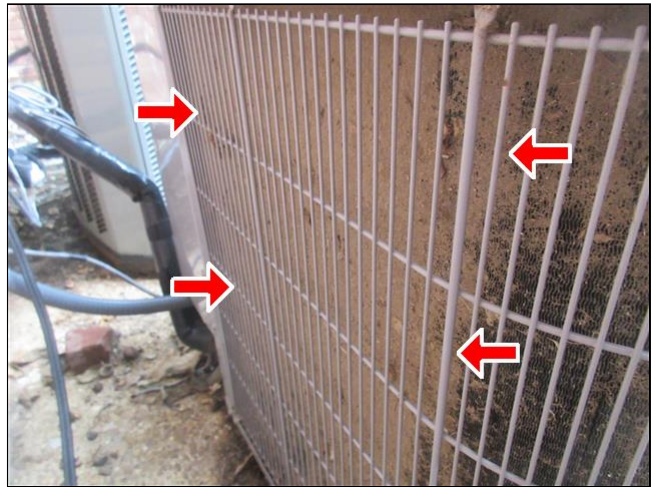
**Items**

- 7.0 Heating Equipment**  
Comments: Inspected
- 7.1 Normal Operating Controls**  
Comments: Inspected
- 7.2 Normal Operating Controls**  
Comments: Inspected
- 7.3 Cooling and Air Handler Equipment**  
Comments: Repair or Replace

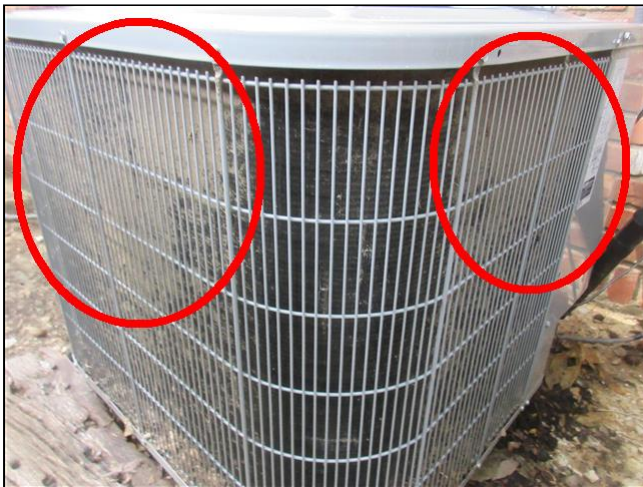
(1) Recommend having the condensing unit cleaned as part of routine maintenance.



7.3 Item 1(Picture)



7.3 Item 2(Picture)



7.3 Item 3(Picture)

(2) Water observed in the emergency overflow pan of the HVAC. Recommend further inspection by a licensed HVAC technician for repairs/replacements to be made as necessary.



7.3 Item 4(Picture)



7.3 Item 5(Picture)

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The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 8. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

### Styles & Materials

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**Attic Insulation:**

Loose Fill Insulation

**Ventilation:**

Gable vents  
Turbines

### Items

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The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 9. Built-In Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

### Items

#### 9.0 Dishwasher

**Comments:** Repair or Replace

The dishwasher drain line needs to be looped upward near the top of the cabinet underside in order to prevent possible contamination of clean dishes which can occur when water from the sink flows into the dishwasher.



9.0 Item 1(Picture)



9.0 Item 2(Picture)

#### 9.1 Ranges/Ovens/Cooktops

**Comments:** Inspected

#### 9.2 Range Hood (s)

**Comments:** Inspected

#### 9.3 Food Waste Disposer

**Comments:** Inspected

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**10. Swimming Pools, Equipment and Safety**

Pools are fun, but children and adults can lose their life quickly. Over 4000 lives annually are lost with one-third under the age of 14. **A child can drown in the time it takes to answer a phone.** A swimming pool is 14 times more likely than a motor vehicle to be involved in the death of a child age 4 and under. An estimated 5,000 children ages 14 and under are hospitalized due to near-drownings each year; 15 percent die in the hospital and as many as 20 percent suffer severe, permanent brain damage. Of all preschoolers who drown, 70 percent are in the care of one or both parents at the time of the drowning and 75 percent are missing from sight for five minutes or less. Drowning surpasses all other causes of death to children age 14 and under in Arizona, California, Florida, Hawaii, Montana, Nevada, Oregon, Utah and Washington.

A pool alarm with a loud speaker system to sound outside as well as inside the home could save a life. Even if you do not have children you should be concerned. 35% of children that drowned did so in someone else's pool. For more info, do an Internet search on pool safety or visit this website: [http://www.ihf.org/foryourhealth/article\\_children.html](http://www.ihf.org/foryourhealth/article_children.html)

**Styles & Materials**

**Style:**

In ground

**Wall Material:**

Vinyl

**Items**

**10.0 Surface Walls and Floor of Pool**

**Comments:** Repair or Replace

Recommend sealing pool decking cracks in the future to prevent water penetration.



10.0 Item 1(Picture)



10.0 Item 2(Picture)

**10.1 Pumps for Circulation of Water**

**Comments:** Repair or Replace



Clogged filter/Leaking Pump observed at the circulating equipment. Recommend repairs be made by a licensed technician for proper operation to prevent deterioration of the unit.



10.1 Item 1(Picture)



10.1 Item 2(Picture)

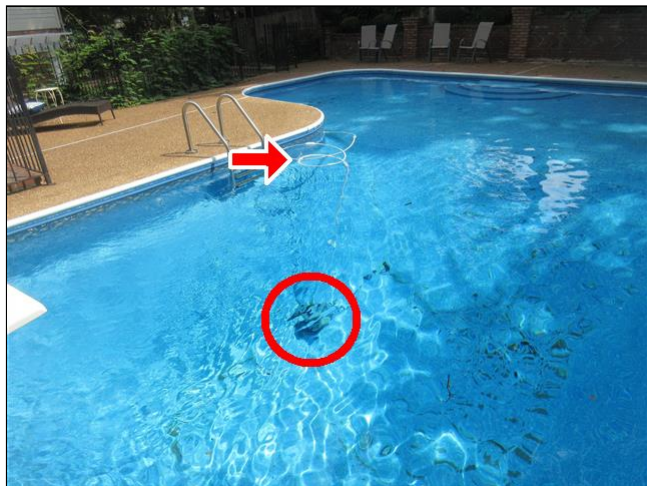


10.1 Item 3(Picture)

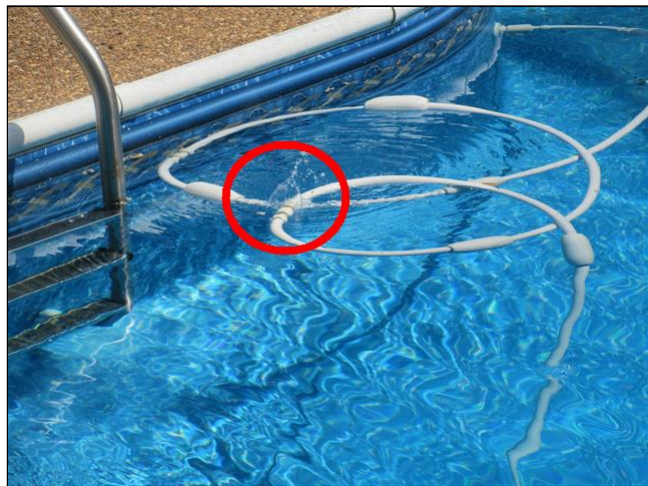
### 10.2 Pumps for Vacuum or Cleaning

**Comments:** Repair or Replace

It appears that there may be an issue with the line of the pool vacuum/cleaner. Recommend repairs be made for proper operation.



10.2 Item 1(Picture)



10.2 Item 2(Picture)

**10.3 Is there a depth of at least eight feet to allow for safe diving?****Comments:** Repair or Replace

Although it appears to be operating properly, it is recommend to remove the diving board for safety.



10.3 Item 1(Picture)

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Unless so mentioned in this report, I did not test water for bacteria or quality. The pool was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.